



90681

11-04-94P03:46 RCVD

WARRANTY DEED

Vol. m94 Page 34279

ATE #02042034

AFTER RECORDING RETURN TO:

ROBERT F. SNOOK & LIKLEE O. SNOOK

2069 Quindale Road
Klamath Falls, OR 97601UNTIL A CHANGE IS REQUESTED ALL TAX
STATEMENTS TO THE FOLLOWING ADDRESS:
SAME AS ABOVE

EDWIN E. SMITH and STEPHANIE A. SMITH, husband and wife,
hereinafter called GRANTOR(S), convey(s) to ROBERT F. SNOOK and
LIKLEE O. SNOOK, husband and wife, hereinafter called
GRANTEE(S), all that real property situated in the County of
Klamath, State of Oregon, described as:

Parcel 1 of LP 23-93 situated in the NE 1/4 SE 1/4 of Section 1,
Township 39 South, Range 8 East of the Willamette Meridian, in
the County of Klamath, State of Oregon.

Code 7 Map 3908-100 Tax Lot 200

"THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN
THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND
REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE
PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE
APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY
APPROVED USES."

and covenant(s) that grantor is the owner of the above described
property free of all encumbrances except covenants, conditions,
restrictions, reservations, rights, rights of way and easements
of record, if any and those apparent upon the land,

and will warrant and defend the same against all persons who may
lawfully claim the same, except as shown above.

The true and actual consideration for this transfer is
\$20,000.00, paid to an accomodator pursuant to an IRC 1031
tax-deferred exchange.

In construing this deed and where the context so requires, the
singular includes the plural.

IN WITNESS WHEREOF, the grantor has executed this instrument
this 26th day of October, 1994.

Edwin E. Smith
EDWIN E. SMITH

Stephanie A. Smith
STEPHANIE A. SMITH

STATE OF CALIFORNIA, County of Es.On this X day of October, 1994.

Personally appeared the above named EDWIN E. SMITH and STEPHANIE
A. SMITH, and acknowledged the foregoing instrument to be their
voluntary act and deed.

Before me: X

Notary Public for CALIFORNIA

My Commission Expires: X

34280

Certificate Of Acknowledgment

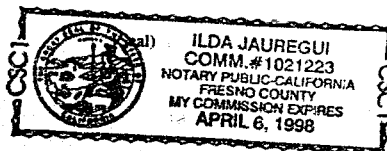
State of California

County of Fresno

On 31 October 1994 before me, Ilida Jauregui, a Notary Public for the
 State of California, personally appeared Edwin E. Smith and Stephanie A. Smith

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) ~~is~~ are subscribed to the within instrument and
 acknowledged to me that he/~~she~~ they executed the same in his/~~her~~ their authorized capacity(ies), and that by his/~~her~~ their signature(s) on the instrument the
 person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
 WITNESS my hand and official seal.

Signature



STATE OF OREGON: COUNTY OF KLAMATH: ss.

Filed for record at request of Aspen Title Co the 4th day
 of Nov A.D., 19 94 at 3:46 o'clock P M., and duly recorded in Vol. M94
 of Deeds on Page 34279

FEE \$35.00

Evelyn Biehn County Clerk

By Debra M. Millender