

After Recording Return To:
Tami S.P. Carroll
P.O. Box 10567
Eugene, OR 97440

Until a Change is Requested,
Mail Tax Statements To:
No Change.

WARRANTY DEED-STATUTORY FORM

Linda Bridgman Garrison, Grantor, conveys and warrants to Linda Bridgman Garrison, Trustee Under Trust Agreement, Dated October 12, 1998, Grantee, the following described real property free of encumbrances except as specifically set forth herein:

The E $\frac{1}{2}$ NW $\frac{1}{4}$ SE $\frac{1}{4}$ and the E $\frac{1}{2}$ W $\frac{1}{2}$ NW $\frac{1}{4}$ SE $\frac{1}{4}$, all being in Section 23, Township 35 South, Range 6 East of the Willamette Meridian, Klamath County, Oregon.

EXCEPTING THEREFROM: The NE $\frac{1}{4}$ NW $\frac{1}{4}$ NW $\frac{1}{4}$ SE $\frac{1}{4}$ and the N $\frac{1}{2}$ NE $\frac{1}{4}$ NW $\frac{1}{4}$ SE $\frac{1}{4}$ of Section 23, Township 35 South, Range 6 East of the Willamette Meridian, Klamath County, Oregon.

ALSO EXCEPTING THEREFROM: A piece or parcel of land situated in the Northwest $\frac{1}{4}$ Southeast $\frac{1}{4}$ of Section 23, Township 35 South, Range 6 East of the Willamette Meridian, Klamath County, Oregon, being more particularly described as follows:

Beginning at a point on the southerly line of the Northwest $\frac{1}{4}$ Southeast $\frac{1}{4}$ of Section 23, Township 35 South, Range 6 East of the Willamette Meridian, Klamath County, Oregon, from which point the brass cap monument marking the South $\frac{1}{4}$ corner of said Section 23 bears North 87 degrees 53' 10" West 684.44 feet and South 0 degrees 21' 00" East 1279.15 feet; thence North 63 degrees 46' 30" East along an existing fence line 316.78 feet to a point; thence South 33 degrees 23' 15" East 184.71 feet to a $\frac{5}{8}$ inch iron pin, thence North 87 degrees 53' 10" West 386.08 feet to the point of beginning.

PLUS

Northeast $\frac{1}{4}$ Southwest $\frac{1}{4}$ Southeast $\frac{1}{4}$, West $\frac{1}{2}$ Southeast $\frac{1}{4}$ Southeast $\frac{1}{4}$ and North $\frac{1}{2}$ Southeast $\frac{1}{4}$ Southwest $\frac{1}{4}$ Southeast $\frac{1}{4}$ of Section 23, Township 35 South, Range 6 East of the Willamette Meridian.

A piece or parcel of land situated in the Northwest $\frac{1}{4}$ Southeast $\frac{1}{4}$ of Section 23, Township 35 South, Range 6 East of the Willamette Meridian, being more particularly described as follows:

Warranty Deed - Statutory Form

Beginning at a point on the southerly line of the Northwest ¼ Southeast ¼ of Section 23, Township 35 South, Range 6 East of the Willamette Meridian from which point the brass cap monument marking the South ¼ corner of said Section 23 bears North 87°53'10" West 684.44 feet and South 0°21'00" East 1279.15 feet; thence North 63°46'30" East along an existing fence line 316.78 feet to a point; thence South 33°23'15" East 184.71 feet to a 5/8 inch iron pin; thence North 87°53'10" West 386.08 feet to the point of beginning.

Subject to: Easements, conditions, restrictions, and encumbrances contained in Grantor's policy of life insurance.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

The true consideration for this conveyance is none.

The liability and obligations of Grantor to Grantee and Grantee's heirs and assigns under the warranties and covenants contained herein or provided by law shall be limited to the amount, nature and terms of any right of indemnification available to Grantor under any title insurance policy, and Grantor shall have no liability or obligation except to the extent that reimbursement for such liability or obligation is available to Grantor under any such title insurance policy. The limitations contained herein expressly does not relieve Grantor of any liability or obligations under this instrument, but merely define the scope, nature, and amount of such liability or obligations.

Dated this 26th day of October, 1998.

Linda Bridgman Garrison
Linda Bridgman Garrison

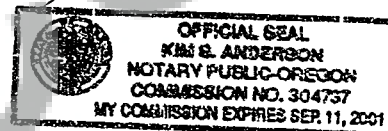
STATE OF OREGON)
) ss.
County of Klamath)

This instrument was acknowledged before me on 26, October 1998, by Linda Bridgman Garrison.

Kim S. Anderson
Notary Public for Oregon
My commission expires: 11, SEPT 2001

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Warranty Deed - Statutory Form



STATE OF OREGON: COUNTY OF KLAMATH: ss.

Filed for record at request of Linda Garrison the 3rd day of November A.D., 19 98 at 2:44 o'clock P. M., and duly recorded in Vol. M98 of Deeds on Page 40280.

FEE \$35.00

By Beretha G. Leisch, County Clerk
Kathleen Ross