



THIS SPACE RESERVED FOR

2021-009225

Klamath County, Oregon

06/10/2021 01:23:00 PM

Fee: \$87.00

After recording return to:

Deborah L McDonald

354 Melba Ave.

Cotter, AR 72626

Until a change is requested all tax statements shall be sent to the following address:

Deborah L McDonald

354 Melba Ave.

Cotter, AR 72626

File No. 466362AM

STATUTORY WARRANTY DEED

Shearouse J. Garris,

Grantor(s), hereby convey and warrant to

Deborah L McDonald,

Grantee(s), the following described real property in the County of Klamath and State of Oregon free of encumbrances except as specifically set forth herein:

Parcel 1:

Lot 23 in Block 45 of KLAMATH FALLS FOREST ESTATES, HIGHWAY 66 UNIT, PLAT NO. 2, according to the official plat thereof on file in the office of the County Clerk of Klamath County, Oregon.

Excepting therefrom the following:

Beginning at a point on the line common to Lots 23 and 24 in Block 45 of said plat, from which the Northerly corner common to said Lots 23 and 24 in Block 45 bears North 42°47'47" East 236.20 feet; thence South 48°25'05" East 77.50 feet; thence South 43°44'53" West 161.53 feet to a point on the Southwesterly line of said Lot 23; thence North 47°12'13" West, along said Southwesterly line 74.80 feet to the Southerly corner common to said Lots 23 and 24 in Block 45; thence North 42°47'47" East 159.86 feet to the point of beginning.

Parcel 2:

That portion of Lot 24 in Block 45 of KLAMATH FALLS FOREST ESTATES, HIGHWAY 66 UNIT, PLAT NO. 2, according to the official plat thereof on file in the office of the County Clerk of Klamath County, Oregon, described as follows:

Beginning at the Northerly corner common to said Lots 23 and 24 in Block 45 of said plat; thence South 42°47'47" West along the line common to said Lots 23 and 24 a distance of 236.20 feet; thence North 48°25'05" West 56.52 feet; thence North 42°47'47" East 196.76 feet to a point on the Northerly line of said Lot 24; thence South 82°55'26" East 69.60 feet to the point of beginning.

The true and actual consideration for this conveyance is \$174,000.00.

The above-described property is free of encumbrances except all those items of record, if any, as of the date of this deed and those shown below, if any:

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

Dated this 9 day of JUNE 2021.

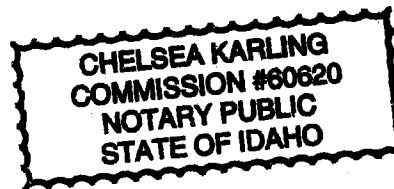
Shearouse J. Garris
Shearouse J. Garris

State of ~~Oregon~~ } ss
County of ~~Klamath~~ } Ada

On this 9 day of June, 2021, before me, the undersigned a Notary Public in and for said state, personally appeared Shearouse J. Garris, known or identified to me to be the person(s) whose name(s) is/are subscribed to the within Instrument and acknowledged to me that he/she/they executed same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Chelsea Karling
Notary Public for the State of Oregon
Residing at: Klamath County, Oregon
Commission Expires:



Residing: Horseshoe Bend, ID
Expiration: 11/13/2024